

THE CORPORATION OF  
TOWNSHIP OF WHITEWATER REGION

BY-LAW NUMBER 12-12-579

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**A By-Law authorizing the Township to enter into a Site Plan  
Agreement with Patrick Rene St. Michael**

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**WHEREAS** Patrick Rene St. Michael is the owner of PT LT 19 CON 3, Part 1, Plan 49R-133381, ROSS, TOWNSHIP OF WHITEWATER REGION known municipally as 70 Lefty Lane;

**AND WHEREAS** Patrick Rene St. Michael has made application to the Municipality for an amendment to the Municipality's By-Law to allow for the development of the lands;

**AND WHEREAS** the Municipality, by By-Law Number 12-07-548, has approved the Zoning By-Law amendment subject to certain conditions including the execution of a Site Plan Agreement;

**AND WHEREAS** Section 41 of the Planning Act permits the registration of this Agreement against the lands to which it applies in order to secure the provisions of certain works;

**AND WHEREAS** Patrick Rene St. Michael has asked the Council of the Corporation of the Township of Whitewater Region to enter into a Site Plan Agreement;

**NOW THEREFORE** the Council of the Corporation of the Township of Whitewater Region hereby ENACTS AS FOLLOWS:

1. **THAT** The Corporation of the Township of Whitewater Region enter into a Site Plan Agreement with Patrick Rene St. Michael, which agreement is attached and marked as Schedule "A" to this By-law.
2. **THAT** the Council of the Township of Whitewater Region hereby authorize the execution of the Development Agreement.
3. **THAT** the Mayor and CAO/Clerk be authorized to execute the said Site Plan Agreement together with all documents relating thereto, and further, to make such other motions as may be necessary to complete this matter.

THIS BYLAW shall come into effect upon the passing thereof and subsequent registration at the Land Registry Office for the Registry Division for the County of Renfrew.

This By-law given **FIRST** and **SECOND** reading this 12<sup>th</sup> day of December, 2012.

This By-law read a **THIRD** time and finally passed this 12<sup>th</sup> day of December, 2012

MAYOR

CAO/CLERK

# SCHEDULE A

SITE PLAN CONTROL AGREEMENT made this 12<sup>th</sup> day of December, 2012.

BETWEEN:

**PATRICK RENE ST. MICHAEL**

(Hereinafter referred to as the "Owner")

and

**THE CORPORATION OF THE TOWNSHIP OF WHITEWATER REGION**

(Hereinafter referred to as the "Municipality")

**WHEREAS** the Owner is the Owner of the land municipally known as 70 Lefty Lane, Olmstead Lake.

**AND WHEREAS** the Owner has made Application to the Municipality for an amendment to the Municipality's By-Law to allow for the development of the lands.

**AND WHEREAS** the Municipality, by By-Law Number 12-07-548, has approved the Zoning By-Law amendment subject to certain conditions including the execution of a Site Plan Agreement.

**AND WHEREAS** Section 41 of the Planning Act permits the registration of this Agreement against the lands to which it applies in order to secure the provision of certain works.

**NOW THEREFORE** this Agreement witnesseth that in consideration of the mutual covenants hereinafter expressed and other good and valuable consideration, the parties hereto agree as follows:

**SUBJECT LANDS:**

1. The lands affected by this Agreement are Part Lot 19, Concession 3, Ross, Part 1, Plan 49R-133381, Township Of Whitewater Region, municipally described as 70 Lefty Lane, Olmstead Lake, hereinafter referred to as the "Lands".

**FEES AND CHARGES:**

2. The Owner covenants and agrees to pay the Municipality's reasonable legal fees for the preparation, execution and registration of this Agreement.

**REGISTRATION OF AGREEMENT:**

3. The Owner hereby consents to the registration of this Agreement together with any Schedules hereto, upon the title to the Lands.

**CONDITIONS:**

4. The parties acknowledge that a Slope Stability Assessment has been carried out on the Lands and a report has been provided to the parties by Houle Chevrier Engineering Ltd. dated October 2, 2012 (hereinafter referred to as the "SSAS"), a copy of which is attached hereto and marked as Schedule "A".

5. The Owner shall carry out a slope regrading in accordance with Alternative 2, set out on page 3 of the SSAS. In order to flatten the existing slope, earth excavation and removal of the existing vegetation along the crest of the slope is required. The surface of the regraded slope should be compacted by tamping with the bucket of an excavator.
6. The parties acknowledge the existence of a hydro pole on the slope. The Owner shall ensure that the slope regrading does not cause instability to the pole. If it is determined that the hydro pole is to be moved, the Owner shall consult with the hydro utility prior to the relocation of the pole and shall follow all recommendations of the hydro utility regarding its placement. Any relocation or replacement of the hydro pole must occur on the Owner's property. The Owner shall be responsible for all costs associated with the moving of the pole.
7. In accordance with the SSAS a retaining wall of a maximum height of 2.3 metres shall be constructed along the toe of the slope. The said retaining wall may consist of proprietary precast concrete, cast in place concrete armour stone or a flexible welded wire wall filled with gabion stone. Geotechnical design parameters for design of the retaining wall shall be provided to the Municipality as the design progresses.
8. Subsequent to the regrading, the Owner shall apply a thin layer of top soil, having a thickness of approximately ten centimetres along the regraded slope face. The topsoil shall then be seeded. A suitable erosion control blanket such as a double net, or strong coconut fibre blanket shall be installed on the surface of the topsoil and shall be secured in place by wooden stakes. Shrubs shall also be installed through small holes in the erosion control blanket. Suitable vegetation for steep slopes, such as grasses, crown vetch or other special perennials shall be planted over the slope.
9. A drainage swale shall be constructed along the toe of the slope. This drainage swale shall drain towards the lake.
10. The parties acknowledge that an environmental review was performed on the site and a report dated August 13, 2012 was prepared by Ontario Resource Management Group Inc.. A copy of this report is attached hereto as Schedule "B". In accordance with the recommendations in the environmental report, the Owner shall:
  - A. During all phases of construction which impact the substrate, implement approved erosion and sedimentation control measures between the area of construction and the waterway. Such measures must be located along the crest of the slope at the site to ensure existing stable vegetation remains undisturbed. Erosion control measures must be implemented without impacting the waterway during the process of installation or removal of the control measures.
  - B. All stages of construction must be completed without removal or alteration of existing vegetation along the shoreline. Excavation, construction, destruction of existing structures and septic bed assessment, repair or replacement must be designed to minimize erosion and sedimentation and proper mitigation measures must be implemented.
  - C. Additional vegetation shall be planted in the erosion prone areas. Planting of the cleared area around the home is required as soon as reasonably possible after construction is completed.
  - D. The Owner shall use only natural fertilizers or pesticides for the control of insects and weeds.
  - E. Any buildings to be located on the Lands shall be equipped with eaves troughs and downspouts to prevent excessive runoff of rainwater from their roofs. The downspouts shall be installed to prevent the discharge of rainwater directly into the sand substrate. In accordance with the aforementioned Environmental Report, the

eaves troughs and downspouts must be constructed to prevent erosion of the substrates surrounding the building and to prevent sedimentation of the waterway due to surface runoff and to have no negative impact on the neighbour's property. The suggested options are the use of gravel or crushed rock around the downspout areas, running downspouts into rain barrels, extending the outflow area of each downspout through perforated PVC drainage pipe.

11. Attached hereto as Schedule "C" is a copy of the Site Plan setting out the approximate locations for the various parts of the development.
12. The Owner shall retain, at his expense, a geotechnical engineer to review the final Plans for the development of the Lands. The said engineer shall monitor the construction process and provide a report to the Owner and the Municipality when construction is completed to ensure that all requirements of the Site Plan and Site Plan Agreement have been met.

**ENFORCEMENT:**

13. The Owner acknowledges that the Municipality, in addition to any other remedy it may have at law, shall also be entitled to enforce this Agreement in accordance with Section 446 of the Municipal Act, S.O. 2001.

**SUCCESSORS AND ASSIGNS:**

14. This Agreement and everything herein contained shall enure to the benefit of and be binding upon the parties hereto and their successors and assigns.

**NOTICES:**

15. Any Notice required to be given to either party to the other shall be mailed or delivered to:

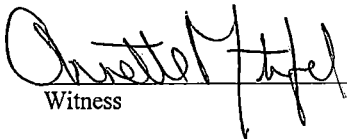
A. The Owner At:

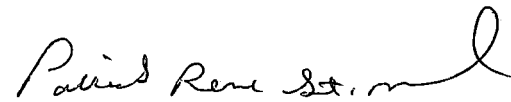
Patrick Rene St. Michael  
66 Lochiel Street South  
Renfrew, Ontario  
K7V 1W3

B. To the Municipality At:

P. O. Box 40  
44 Main Street  
Cobden, Ontario  
K0J 1K0

Dated at Cobden, Ontario this 13 day of December, 2012

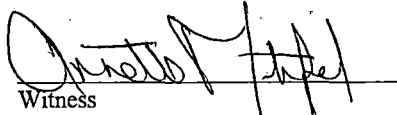
  
Witness

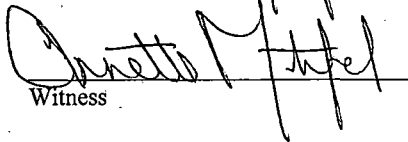
  
Patrick Rene St. Michael

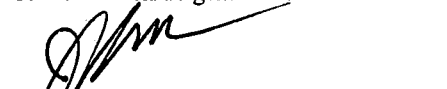
Dated at Cobden

, Ontario this 12 day of December, 2012

The Corporation Of The Township  
Of Whitewater Region

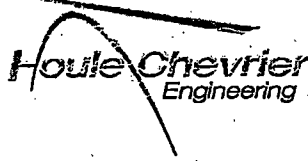
  
Witness

  
Witness

  
Per: James Labow, Mayor

  
Per: Christine FitzSimon, CAO/Clerk

We have the authority to bind the Corporation.



Houle Chevrier Engineering Ltd.  
 180 Wascar Lane  
 P.R. 2  
 Carp, Ontario K0A 1L0  
 Tel: (613) 838-1422  
 Fax: (613) 838-9731  
 www.hceng.ca

October 2, 2012

Our Ref: 12-329

Mr. Pat St. Michael  
 66 Lochiel Street S.  
 Renfrew, Ontario  
 K7V1W3

RE: SLOPE STABILITY ASSESSMENT AND STABILIZATION  
 PROPOSED COTTAGE  
 70 LEFTY LANE  
 OLMSTEAD LAKE  
 TOWNSHIP OF WHITEWATER REGION, ONTARIO

Dear Sir:

This letter presents the results of a slope stability assessment carried out at the site of a proposed cottage at 70 Lefty Lane on Olmstead Lake in the Township of Whitewater Region, Ontario (see Key Plan, Figure 1). The purpose of this stability assessment is to determine whether or not potentially unstable slopes exist on the subject property and, if so, to provide possible slope stabilization alternatives.

#### DESCRIPTION OF SITE AND SLOPE

A site reconnaissance was carried out on July 24, 2012. At that time, the geometry of the slope was measured using a Trimble R8 GPS survey instrument. Three (3) cross sections of the slope, in its current configuration, are provided on Figures 3 to 5. The locations of the cross sections are provided on Figure 2.

The geometries of the cross sections considered are summarized in the following table:

Cross Section	Height (metres)	Overall inclination, from horizontal (degrees)
A-A	6.7	36 to 42
B-B	5.9	37 to 47
C-C	5.4	38

At its closest point, the toe of the slope is located about 3 metres from the proposed cottage and about 2.6 metres from the existing septic tank (see Figure 2). It is understood that the location of the proposed cottage is fixed. A hydro pole is located about 5.5 metres from the crest of the slope. The slope is about 30 metres in length and tapers out near the ends.

One (1) augerhole was advanced by hand near the toe of the slope. Brown to light brown, fine to medium grained sand with trace silt was encountered in the augerhole to 1.5 metres below ground surface.

It is understood that the slope is man-made and is the result of preparing a level site for development in 1968. Erosion (e.g., from surface water and wind), and possibly recent construction activities on the site, have resulted in an over steepened slope devoid of vegetation. The exposed soil along the face of the slope consists of brown to light brown, fine to medium grained sand with trace amounts of silt. Along the crest of the slope, the upper 1 metre of the slope face is near vertical. At the time of our site visit on July 24, 2012, signs of slope instability were observed in the form of sloughing and undermining of the slope crest.

Surficial geology maps of the area indicate that the overburden deposits at the site consist of coarse textured glaciomarine deposits of sand. Bedrock geology maps of the area indicate that the overburden deposits are underlain by Precambrian bedrock.

### SOLOPE STABILITY ANALYSIS

#### General

A slope stability analysis was carried out at Section 'A-A' (the most critical slope cross section based on slope geometry and field observations) in order to determine the existing factor of safety against overall slope failure. Additional analyses were carried out at Section 'A-A' in order to develop and evaluate possible slope stabilization alternatives. The slope stability analyses were carried out using SLIDE, a state of the art, two dimensional limit equilibrium slope stability program. The results of the slope stability analyses carried out at Section 'A-A' are provided on Figures A1 and A2 in Attachment A.

#### Input Parameters

The soil conditions and soil strength parameters used in the stability analyses were based on geology maps, field observations and results of the augerhole. For the purposes of the assessment, we have assumed that the slope is composed entirely of fine to medium grained sand. The following table summarizes the soil parameters used in the analysis:

Soil Type	Effective Angle of Internal Friction, $\phi$ (degrees)	Effective Cohesion, $c'$ (kilopascals)	Unit Weight, $\gamma$ (kN/m <sup>3</sup> )
Fine to medium grained sand	32	0	18.0

The results of a stability analysis are highly dependent on the assumed groundwater conditions. No information is available on the long term groundwater levels throughout the year; however, given that the sand encountered during our site reconnaissance is considered free draining, we have assumed the groundwater level is at the level of Olmstead Lake (i.e., elevation 149.3 metres, geodetic datum).

### Existing Factor of Safety

The slope stability analysis was carried out using soil parameters, groundwater conditions and a slope profile that attempt to model the slope in question but do not exactly represent the actual conditions. For the purposes of this study, a computed factor of safety of less than 1.0 to 1.3 is considered to represent a slope bordering on failure to marginally stable, respectively; a factor of safety of 1.3 to 1.5 is considered to indicate a slope that is less likely to fail in the long term and provides a degree of confidence against failure ranging from marginal (1.3) to adequate (1.4 and greater) should conditions vary from the assumed conditions. A factor of safety of 1.5, or greater, is considered to indicate adequate long term stability.

The slope stability analysis indicates that the existing slope, in its current configuration, has a factor of safety against overall translational failure of about 1.0, and is considered unstable. Furthermore, given the inclination and lack of vegetation along the slope face, it is susceptible to surficial sloughing. The results of the slope stability analysis carried out at Section 'A-A', in its current configuration, is provided on Figure A1 in Attachment A.

### Slope Stabilization Alternatives

To develop and evaluate possible slope stabilization alternatives, additional stability analyses were carried out at Section 'A-A'. The preferred slope stabilization should: (1) improve the existing factor of safety against overall translational failure to an acceptable level, (2) prevent surficial sloughing along the face of the slope and, (3) protect the face of the slope from erosion. We have considered the following slope stabilization alternatives for this site (in no particular order):

Alternative	Strategy	Comments
1) Do nothing	No improvement to the existing slope configuration. Regular maintenance and periodic erosion control measures would likely be required. There remains the potential for slope failure.	It is understood that slope stabilization is required by the Township in order to obtain a building permit, as such, we have not considered the "do nothing" alternative further.
2) Slope regrading	The existing slope would be regraded to 2 horizontal to 1 vertical by removing (excavating) material from the slope. The location of the toe and crest of the slope would be moved.	Slope regrading increases the factor of safety to an acceptable configuration and reduces the potential for surficial sloughing along the slope face. Provided the face of the regraded slope is protected from erosion, Alternative 2 is considered a viable stabilization alternative from a geotechnical point of view (refer to Figure A2 in Attachment A).



Alternative	Strategy	Comments
3) External toe buttress	An external toe buttress constructed of imported crushed rock (blast rock) would be constructed at the toe of the existing slope.	An external toe buttress does not improve the factor of safety against overall translational failure to an acceptable level and is not considered a viable alternative for this site. Furthermore, the geometry of the external buttress would prevent access between the toe of the slope and the proposed cottage.
4) Slope reinforcement using soil anchors	The existing slope would be reinforced with soil anchors installed through the face of the slope. The upper portion of the slope would be regraded to remove the near vertical face; the remaining slope geometry would be maintained.	Slope reinforcement using soil anchors can increase the factor of safety against overall translational failure to an acceptable level while maintaining the existing slope configuration. Furthermore, an erosion control blanket is incorporated into the system in order to protect the face of the slope from erosion and promote vegetative growth. However, Alternative 4 is not considered a cost effective alternative for this site and is not discussed further.
5) Slope face reinforcement using blasted rock	A surficial layer of imported crushed rock (blast rock) would be placed along the slope face between the toe and crest.	Although slope face reinforcement using blasted rock protects the face of the slope from erosion, it does not improve the factor of safety against overall translational failure to an acceptable level. We have not considered Alternative 5 further.

In summary, Alternatives 1, 3, 4, and 5 are not considered viable slope stabilization alternatives for this site and Alternative 2 (i.e., slope regrading) is considered the preferred alternative. Preliminary design details for the preferred alternative (i.e., slope regrading) are presented in the following section.

***Preferred Alternative: Slope Regrading***

Consideration could be given to regrading (flattening) the existing slope to 2 horizontal to 1 vertical by moving the crest/toe of the existing slope. We provide the following comments regarding slope flattening:

- In order to flatten the existing slope, earth excavation and removal of the existing vegetation along the crest of the slope is required. The surface of the regraded slope should be compacted by tamping with the bucket of the excavator. We are unfamiliar with the tree conservation policies within the Township and we recommend that the Township be consulted before proceeding with the work.

**Houle Chevrier Engineering Ltd.**

- As previously indicated, a hydro pole is located within about 5.5 metres of the existing slope crest. The location and orientation of any guy-wires is presently unknown. Slope flattening should not encroach within a zone which would cause instability to the pole. Alternatively, consideration could be given to moving and relocating the hydro pole. The hydro utility should be consulted regarding construction work in close proximity to their hydro pole.
- North of the proposed cottage, the property line is located within about 1 to 2 metres of the existing slope crest. Assuming the stabilization work cannot extend beyond the property line, and a 2.5 to 3.0 metre wide pathway is required between the toe of the slope and the proposed cottage/existing septic tank, a retaining wall, with a maximum height of 2.3 metres, is required along the toe of the slope. The retaining wall could consist of a proprietary precast concrete wall, cast in place concrete wall, armour stone wall or flexible welded wire wall filled with gabion stone. Geotechnical design parameters for design of the retaining wall could be provided as the design progresses.
- Following regrading, a thin layer of topsoil (having a thickness of about 100 millimetres) should be placed along the regraded slope face and seeded. A suitable erosion control blanket (e.g., double net, straw and coconut fibre blanket) should then be installed on the surface of the topsoil, and secured in place using wood stakes. Shrubs could also be installed, through small holes in the erosion control blanket. The erosion control blanket will degrade over time. Therefore, it is important that suitable vegetation be established over the slope. This could include grasses that require a lot of moisture or special perennial's such a crown vetch which is ideal for steep slopes and is commonly used along roadway embankments.
- A drainage swale may be required along the toe of the slope.

The extent of one possible slope flattening scenario is provided on Figure 2. For this particular geometry, we have optimized, where possible, the usable area at the toe of the slope. The geometry also limits the amount of imported earth fill material required. Cross sections of the regraded slope at Sections 'A-A', 'B-B', and 'C-C' are provided on Figures 3 to 5, respectively. The location of a possible retaining is shown on Figure 2.

#### **ADDITIONAL CONSIDERATIONS**

We recommend that the final plans and finished grades for slope flattening be reviewed by a geotechnical engineer to ensure that the guidelines provided in the report have been interpreted as intended. Furthermore, the engagement of the services of the geotechnical consultant during construction is recommended.

Letter to:  
Mr. Pat St. Michael

October 2, 2012  
Our ref: 12-329

-6-

We trust that this letter is sufficient for your requirements. If you have any questions concerning this information or if we can be of further assistance to you on this project, please call.

Yours truly,  
HOULE CHEVRIER ENGINEERING LTD.



Johnathan A. Cholewa, Ph.D, EIT



A.C. Houle, P.Eng.  
Principal

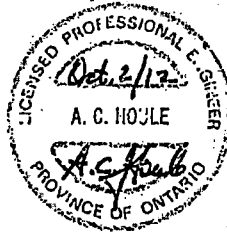


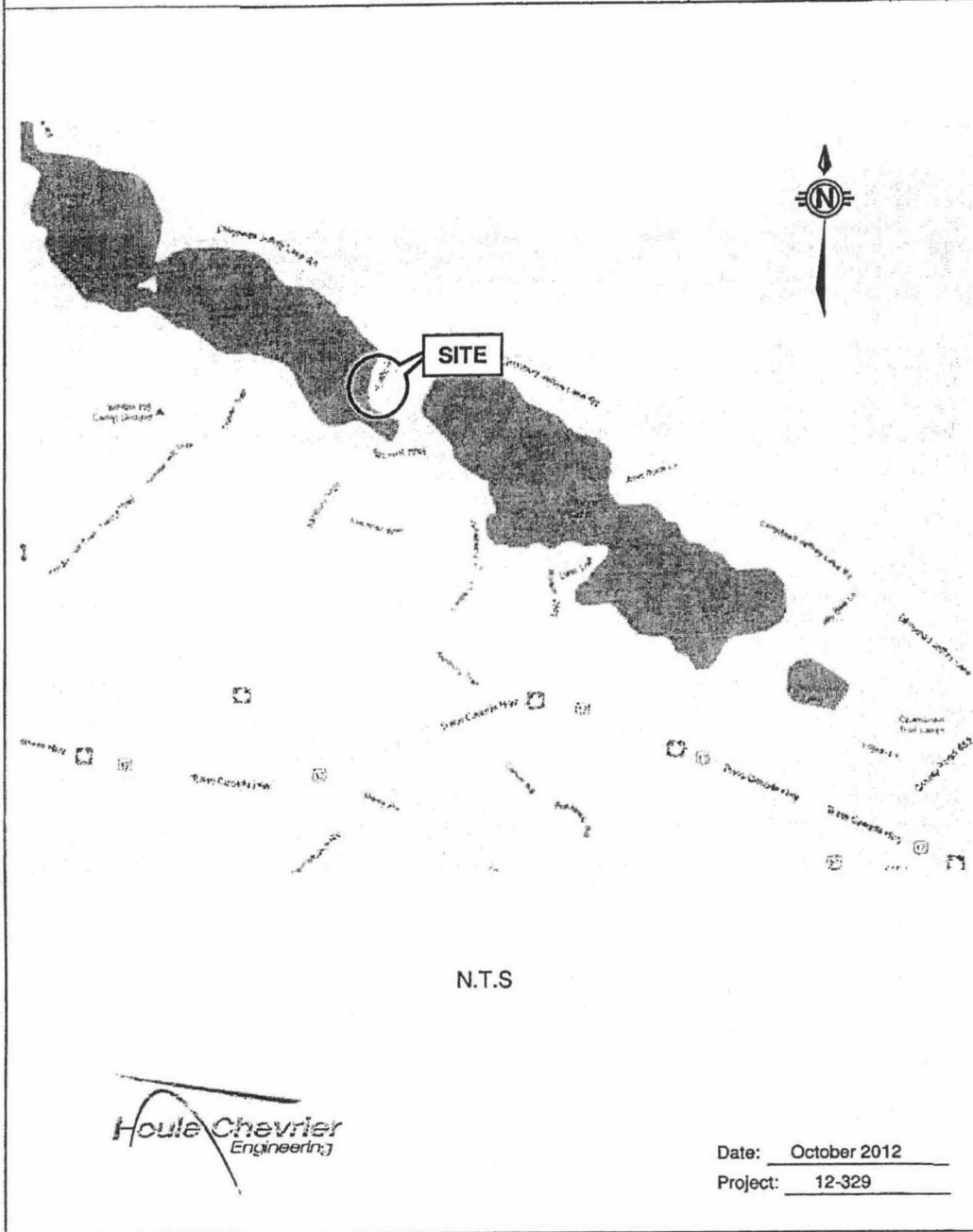
Figure 1 to 5  
Attachment A

Houle Chevrier Engineering Ltd.

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KEY PLAN

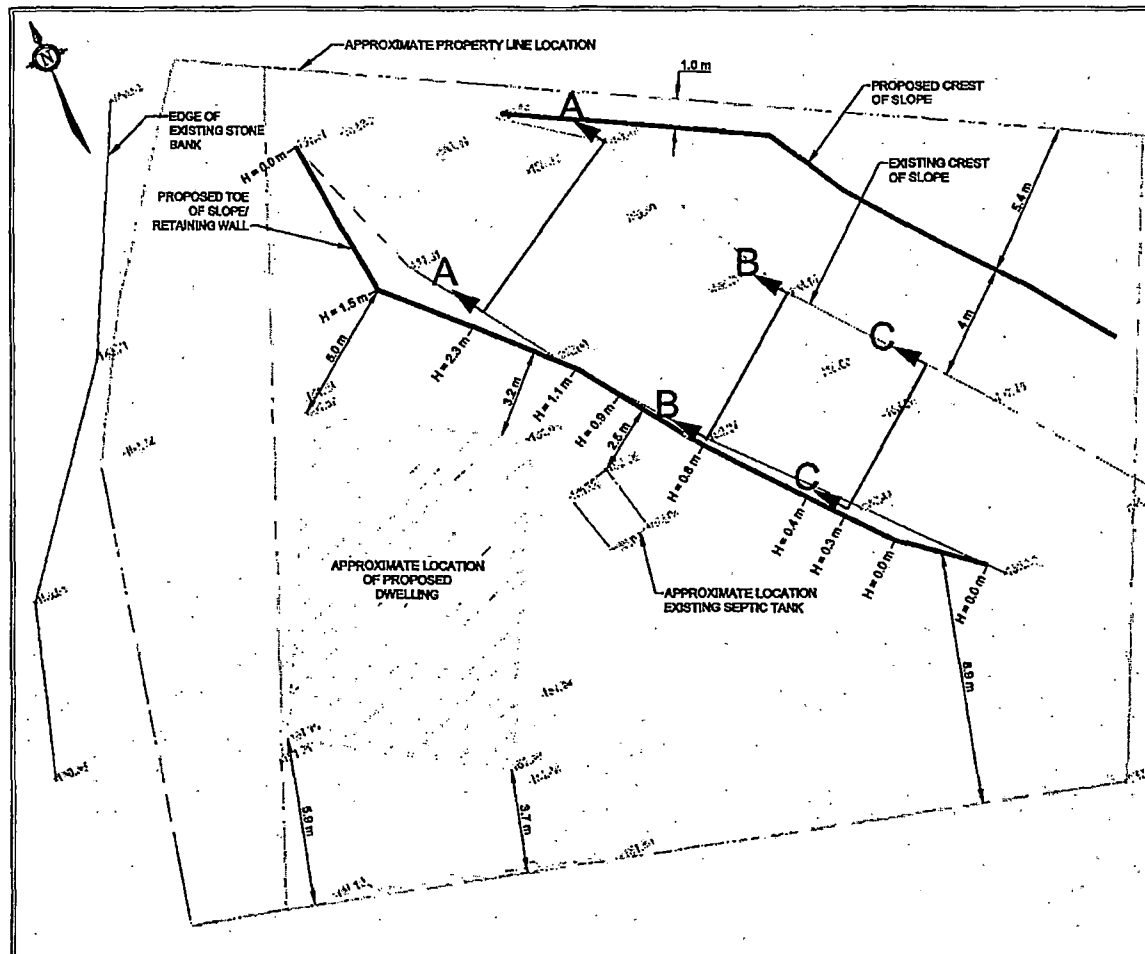
FIGURE 1



N.T.S

*Houle Chevrier*  
Engineering

Date: October 2012  
Project: 12-329



GENERAL NOTES

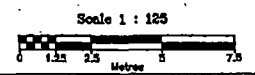
1. THE WATER EROSION WAS MEASURED ON JULY 14, 2012 TO BE AT 1482.2 METRES ELEVATION (PROPOSED DATUM).

LEGEND

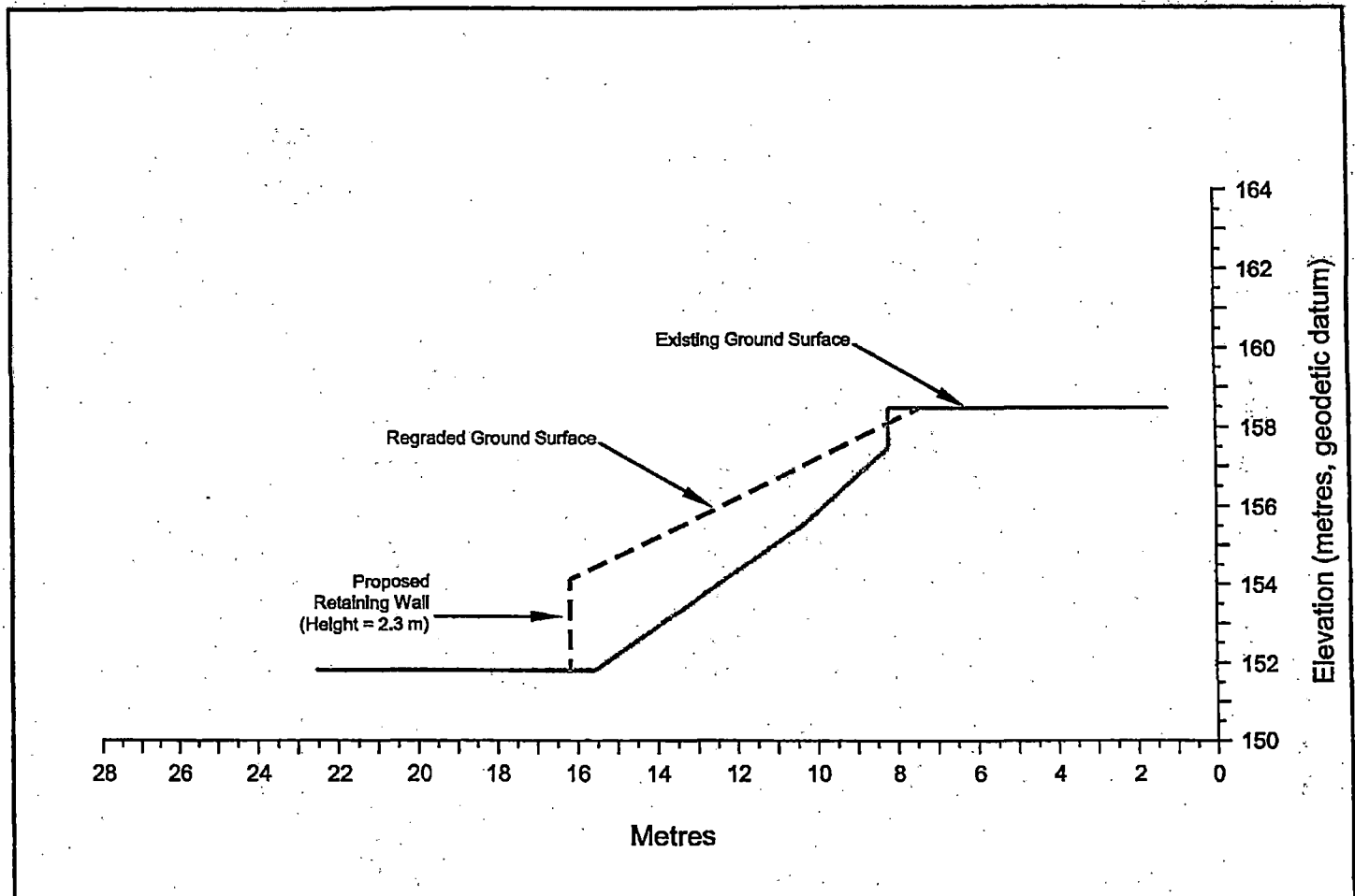
SLOPE CROSS SECTION, CURRENT INVESTIGATION BY HELLS CREEK ENGINEERING LTD.


EXISTING GROUND SURFACE (ELEVATION, PROFILE, CROSS SECTION)

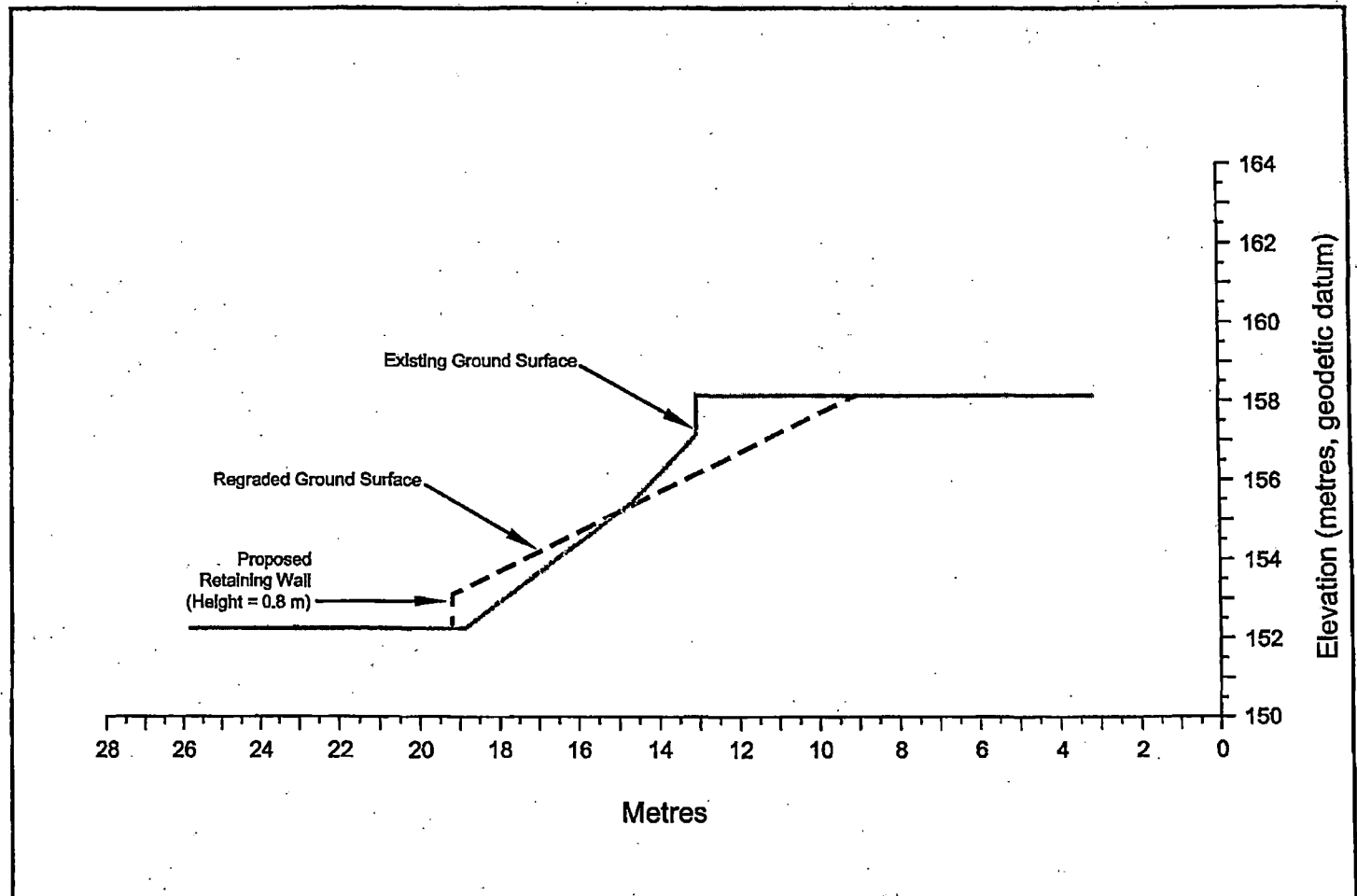
H = 0.3 m REQUIRED HEIGHT OF RETAINING WALL



Location 70 LEFTY LANE OLMSTEAD LAKE TWP. OF WHITEWATER REGION, ONT.		Revision 0
Client MR. ST. MICHAEL	Project No. 12-329	Scale 1:125
Designed by B.T.	<b>SITE PLAN</b>	
Approved by A.C.H.	Date OCTOBER 2012	<b>FIGURE 2</b>



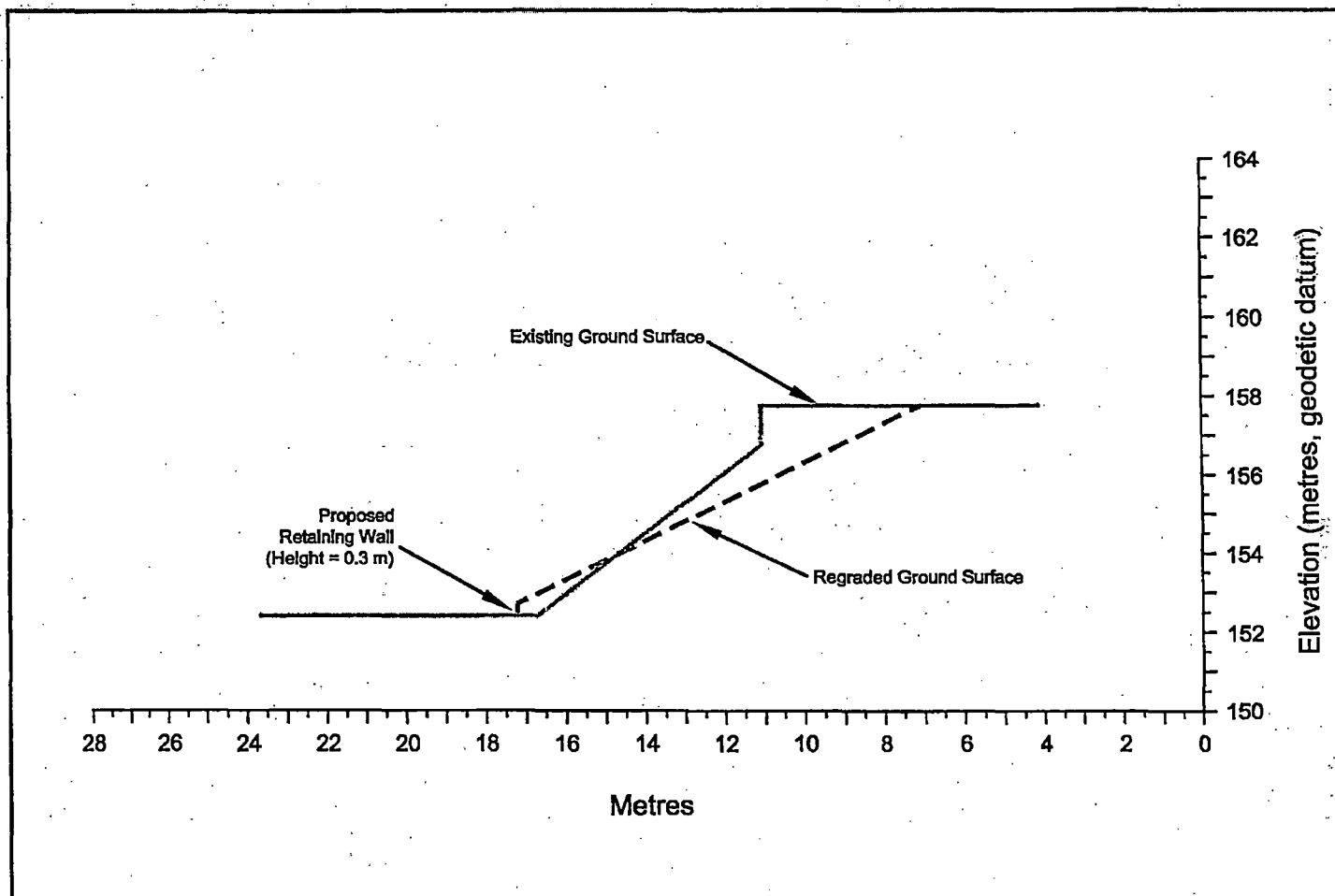
	<b>SECTION A-A</b> 70 LEFTY LANE OLMSTEAD LAKE TOWNSHIP OF WHITEWATER REGION, ONTARIO		Drawn By: B.T.	<b>FIGURE 3</b>  Scale: N.T.S
			Checked By: J.A.C.	
			Project: 12-329	
			Date: October 2012	



**SECTION B-B**  
 70 LEFTY LANE  
 OLMSTEAD LAKE  
 TOWNSHIP OF WHITEWATER REGION, ONTARIO

Drawn By: B.T.  
 Checked By: J.A.C.  
 Project: 12-329  
 Date: October 2012

**FIGURE 4**  
 Scale: N.T.S



**SECTION C-C**  
 70 LEFTY LANE  
 OLMSTEAD LAKE  
 TOWNSHIP OF WHITEWATER REGION, ONTARIO

Drawn By: B.T.  
 Checked By: J.A.C.  
 Project: 12-328  
 Date: October 2012

**FIGURE 5**  
 Scale: N.T.S



October 2012

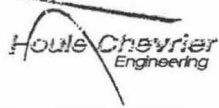
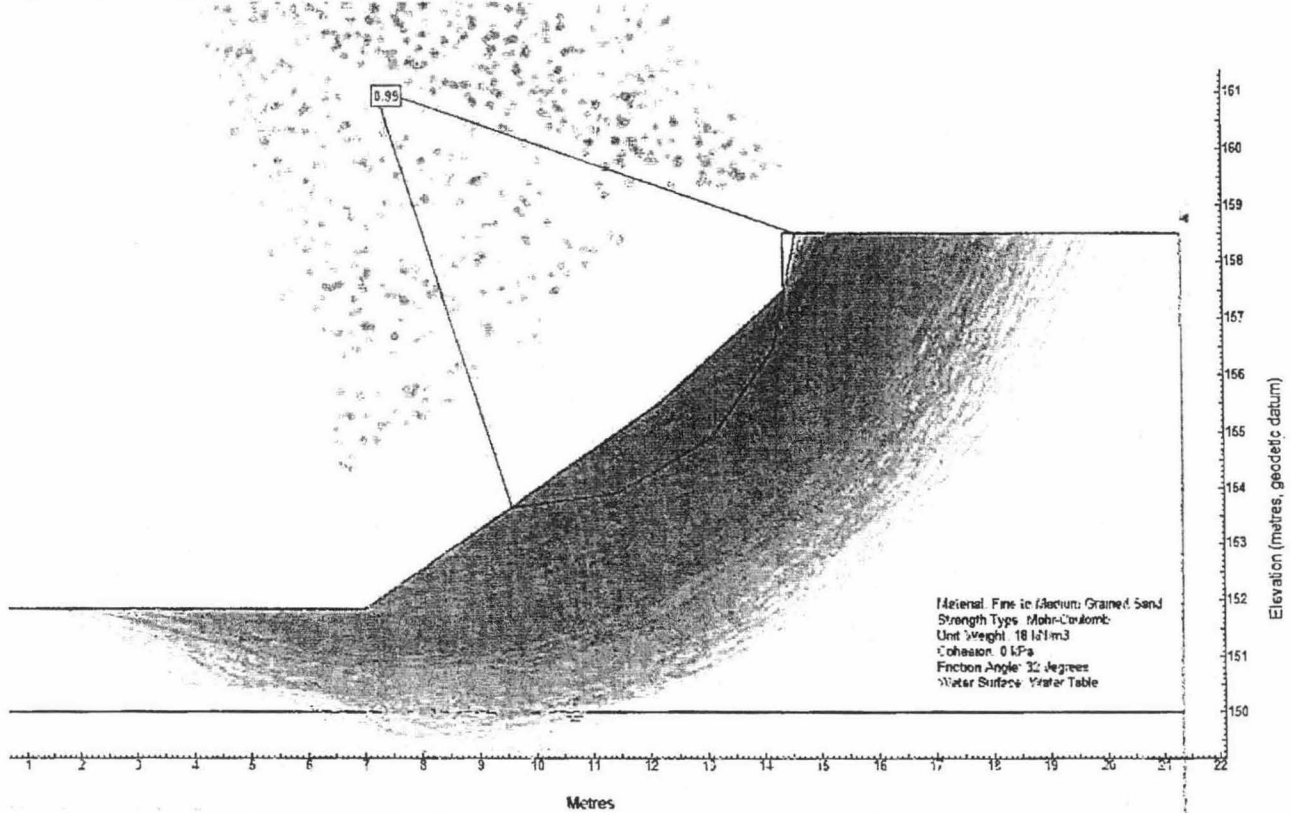
Our Ref: 12-329

**ATTACHMENT A**  
**SLOPE STABILITY ANALYSES**

**Houle Chevrier Engineering Ltd.**

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Loading Conditions: Static



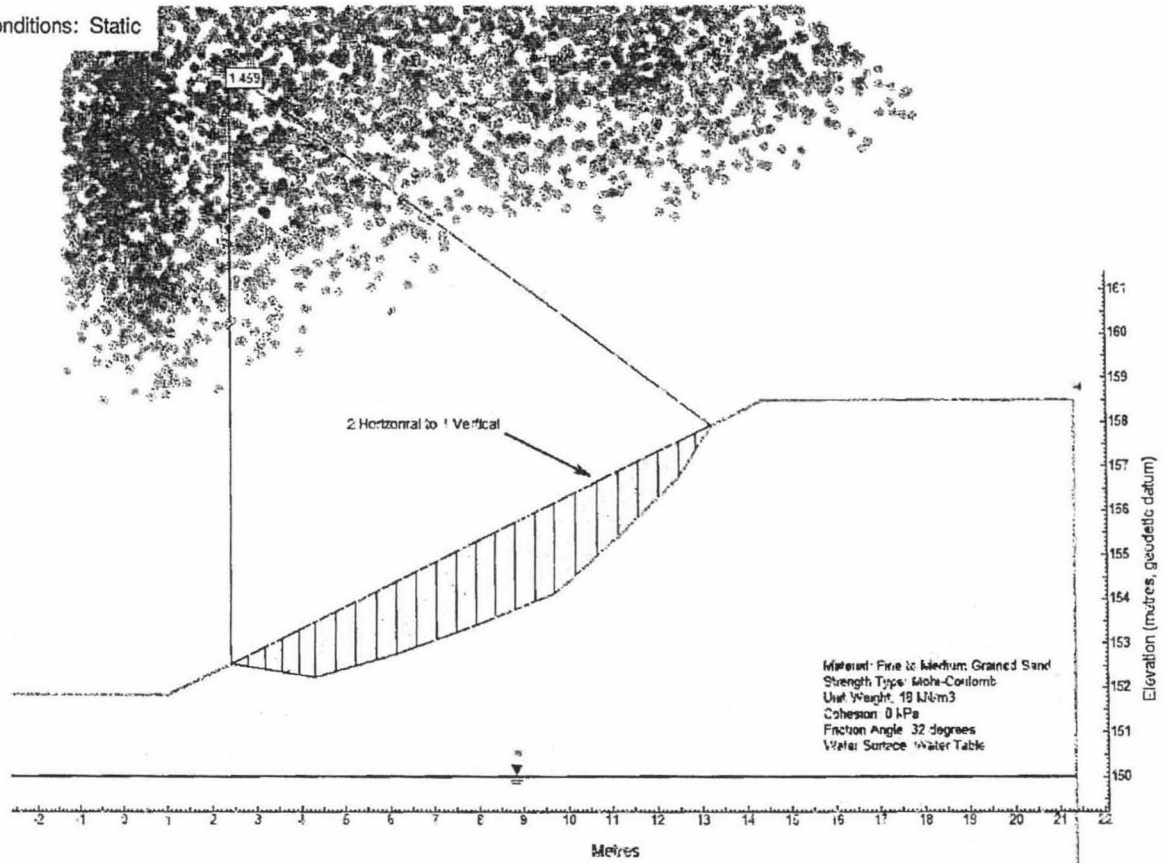
R.R. 2 180 Wescar Lane  
Carp, Ontario  
K0A 1L0  
info@hceng.ca  
(613) 836-1422  
Fax: 836 9731

SLOPE STABILITY ANALYSIS  
EXISTING CONDITIONS  
SECTION A-A

FIGURE A1

PROJECT: 12-329  
DATE: August 2012

Loading Conditions: Static



*Houle Chevrier*  
Engineering

R.R. 2 190 Wescar Lane  
Carp, Ontario  
K0A 1L0  
info@hceng.ca  
(813) 836-1422  
Fax: 836 9731

**SLOPE STABILITY ANALYSIS  
REGRAIDING TO 2 HORIZONTAL TO 1 VERTICAL  
SECTION A-A**

**FIGURE A2**

PROJECT: 12-329  
DATE: August 2012

SCHEDULE 'B'

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**St. Michael Property Environmental Review**

**70 Lefty Lane**

**Township of Whitewater Region**

**Renfrew County, Ontario**

---

*Prepared for*

**Pat St. Michael  
66 Lochiel St. S.,  
Renfrew, ON  
K7V 1W3**

*Prepared by*

**Ontario Resource Management Group, Inc.  
P.O. Box 1234  
Pembroke, ON  
K8A 6Y6**

*13 August 2012*

**ONTARIO RESOURCE MANAGEMENT  
GROUP INC.**

P. O. BOX 1234  
PEMBROKE, ONTARIO  
K8A 6Y6  
Tel: (613) 838-0283



**Project Contracted by:**

Pat St. Michael  
66 Lochiel St. S.,  
Renfrew, ON  
K7V 1W3

**Contractor:**

*Ontario Resource Management Group Inc.*

P.O. Box 1234  
Pembroke, Ontario Canada  
K8A 6Y6  
Tel: 1-613-638-0283  
[ormg@ormg.org](mailto:ormg@ormg.org)  
[www.ormg.org](http://www.ormg.org)

**Project Author:**

Kristi Beatty  
Lead Biologist  
Cell: 613-639-8585

**ONTARIO RESOURCE MANAGEMENT  
GROUP INC.**

P.O. BOX 1234  
PEMBROKE, ONTARIO  
K8A 6Y6  
Tel: (613) 638-0283



CAO  
Township of Whitewater Region  
44 Main Street  
Cobden, ON  
K0J 1K0

13 August 2012

**Re: Requirement for Environmental Impact Statement at 70 Lefty Lane, Twp of Whitewater Region, Renfrew County**

Dear Sir/Madam:

Ontario Resource Management Group Inc. (ORMG) was contracted by Mr. Pat St. Michael in regards to the property at 70 Lefty Lane, on Jeffrey's Lake, in the Township of Whitewater Region, Renfrew County (Fig. 1).



**Figure 1 – Location of project site at 70 Lefty Lane (red star), Twp of Whitewater Region**

Mr. St. Michael indicated that an Environmental Impact Statement (EIS) was requested for the site as part of his application for a Building Permit to replace the existing cottage on the property. It is our understanding that the rezoning of this site has been approved and completed, and that the EIS was requested during a Township Council meeting to discuss the parameters of the construction project Mr. St. Michael is planning on his property.

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Development of the project site is proposed in order to replace an existing cottage structure with a new residence. Development is anticipated to maintain a similar footprint to the existing residence. Cleared/disturbed areas currently account for the majority of the project site, and no additional deforestation or in-water work is slated for completion of this project.

ORMG contacted Pembroke District MNR, at the request of the client, in order to determine whether significant habitat of Endangered or Threatened Species, significant wildlife habitat, significant areas of natural and scientific interest (ANSIs), and/or significant fish habitat exist within the project area. A review of the site was then completed using ortho-rectified and DRAPE aerial imagery, coupled with secondary sources review within the Ministry of Natural Resources' Natural Heritage Information Centre (NHIC) Biodiversity Explorer mapping tool and information database (NHIC, 2010), the Ontario Breeding Bird Atlas (OBBA) (Cadman et al., 2007), the Ontario Reptile and Amphibian Atlas (Ontario Nature [ON], 2010), the Atlas of the Mammals of Ontario (Dobbyn, 1994), the Ontario Freshwater Fishes Life History Database (Eakins, 2010), consultation with Pembroke District Ministry of Natural Resources staff, and existing local records. Provincially Significant Wetlands (PSW), Conservation Reserves (CAs), core Deer yard Areas, Sustainable Forest Licenses (SFLs), Migratory Bird Sanctuaries and Provincial Parks were mapped and overlaid with the site.

Adjacent lands were not assessed on site due to private land ownership and access restrictions, however aerial imagery was utilized to pinpoint degree of clearing, location of buildings, roadways or other structures, proximity to water, and proximity to the proponent's property.

Pembroke District MNR expressed **no concerns for potential disturbance of any Endangered or Threatened species for this project site** (L. Kruschenske, pers. comm.). Additional research determined that there are **no significant wildlife habitat areas, ANSI areas, or significant fish habitat** on the project site.

Based on the disturbed state of the majority of the project area, the property in its current condition is **unsuitable for any Species at Risk, or for other significant wildlife species**. The small size and cultivated grasses on the property make it less than ideal as habitat for open area species such as Bobolink (*Dolichonyx oryzivorus*) or Eastern Meadowlark (*Sturnella magna*).

Habitat adjacent to the project site, and to the north, is entirely disturbed by residential and/or agricultural land uses (Fig. 1). Developed waterway access (constructed under a valid MNR Permit), road access routes, personal driveways, residential homes and cottages, and hydro line clearing along Lefty Lane and Lizards Lane further reduce the suitability of the project area for significant flora or fauna.

Under the proposed construction plan, no additional lands will be cleared or disturbed beyond their current man-made state. Access will be maintained in its current location, and excavation and construction will be restricted to areas already disturbed under the current residential footprint and surrounding lawn.

Given the lack of habitat for endangered or threatened species, lack of significant natural features, and extensive previous disturbance on site due to historic clearing and current residential dwelling being located on site, it is the opinion of the author that the proposed construction of a new dwelling will have no undue adverse impacts on the project site or surrounding properties, so long

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as industry approved best management practices are implemented during construction to prevent erosion or sedimentation of the waterway.

Mitigation measures will be required to ensure that adverse impacts to the waterway and surrounding area do not occur during any phase of construction. The impacts of operation of heavy equipment during all phases of construction must also be taken into consideration. Disturbed areas should be stabilized as quickly as possible to reduce the duration and potential for erosion and/or sedimentation.

#### *Sedimentation/Erosion Control*

Runoff from construction sites can contribute significantly to sediment loading of associated waterways (OMAFRA 2008). During all phases of construction which impact the substrate (foundation excavation, pouring footings, tree removal, grading driveway and building areas, installation of septic system, etc.), approved erosion and sedimentation control measures must be utilized between the area of construction and the waterway. Such measures must be located along the crest of the slope on this site, such that the existing stable vegetation on that slope remains undisturbed. Erosion control measures must be implemented without impacting the waterway during the process of installation or removal of the control measure(s). Mitigation may include the use of geotextile sedimentation screens, erosion blankets, straw bales, or other proven sedimentation reduction measures.

In addition, all proposed and existing structures should be equipped with proper eaves trough to prevent excessive runoff of rainwater from the roof of any building. The eaves trough should drain into downspouts which prevent the discharge of rainwater directly onto the sand substrate. Options for mitigating the flow out of the downspouts include the use of coarse granular gravel/crushed rock around downspout areas, running downspouts into rain barrels, extending the outflow area of each downspout through perforated PVC drainage pipe, or by other approved means of reducing erosion at the discharge end. The end result must be that rainwater from the roof is not allowed to erode the substrate surrounding the building(s), nor to cause sedimentation of Jeffrey's Lake due to surface runoff.

#### *Vegetation*

All stages of construction on this property must be completed without removal or alteration of the existing vegetation along the shoreline. Excavation, construction, destruction of existing structures and septic bed assessment/repair/replacement must be designed to minimize erosion and sedimentation, and proper mitigation measures must be implemented.

Planting of additional (preferably indigenous) vegetation along erosion prone areas is recommended, to further ensure that erosion and sedimentation at the lakeshore is minimized.

Planting of the cleared area around the home is strongly encouraged, as soon as feasible after construction is complete. Laying sod/planting grass seed and strategically placing garden or vegetated areas will greatly minimize the potential for erosion at the main building site. Large areas of asphalt/concrete are discouraged, as these accelerate run-off flows due to their zero porosity characteristics. Where such materials are necessary (driveways, sidewalks, patios, etc.), the landowner is strongly encouraged to provide coarse substrate (crushed gravel) and/or vegetated edges along these areas to minimize large amounts of runoff eroding the surrounding substrate.

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Use of chemical fertilizers or pesticides on planted (grass, sod, garden plants) and natural vegetation is discouraged. Numerous natural, "environmentally friendly" options exist for the reduction/control of insects and weeds, and for fertilization. These products will not impact the waterway and surrounding natural areas to the extent that chemical alternatives do (NWRI 2005). Note that the recently approved Bill 64 *Cosmetic Pesticides Ban Act* took effect on 22 April 2009, and bans the use of chemical pesticides for cosmetic purposes on any lawns, vegetable and ornamental gardens, patios, driveways, etc. If the landowner feels such products are required, the use of natural formulations is mandated.

### Conclusions

After considering the level of disturbance, distance to water, substrate composition and topography of the site, the construction of the proposed residential dwelling on the property at 70 Lefty Lane in the township of Whitewater Region should create **no adverse effects**, provided all mitigation measures are incorporated, monitored and maintained during all phases of construction. The current dwelling has caused no evident adverse effects on the waterway or surrounding lands at the site. It is, however, suggested that the proposed dwelling maximize the possible distance between the edge of the building(s) and the edge of the shoreline. **It is therefore recommended that a Building Permit be issued to allow for the proposed construction on this lot.**

The shoreline of Jeffrey's Lake, while presenting a potential area of runoff or erosion, is currently stabilized by natural vegetation. The fact that the proponent/landowner is actively maintaining and improving this area, as well as consulting professionals during all stages of this proposal, will help to ensure proper mitigation of potential sedimentation and erosion along this shoreline through all phases of construction.

Once construction is complete, prudent evaluation of site uses will continue to minimize the potential for impacts to Jeffrey's Lake due to erosion or siltation. Incorporating coarse substrate or vegetation along areas prone to high volumes of runoff (driveways, etc.) will reduce erosion in those areas. Planting of grasses or other vegetation throughout the area cleared for construction will also reduce erosion and potential sedimentation by capturing and absorbing excess precipitation. When combined, the cumulative effect of all mitigation measures will greatly reduce the potential for erosion of surface soils and sedimentation of the waterway.

Should any erosion, sedimentation or degradation of the substrate become evident at any stage of development or future use, the landowner is encouraged to investigate potential remediation and mitigation options as quickly as possible. Immediate action to prevent further deterioration will be critical to maintaining the site in such a situation.

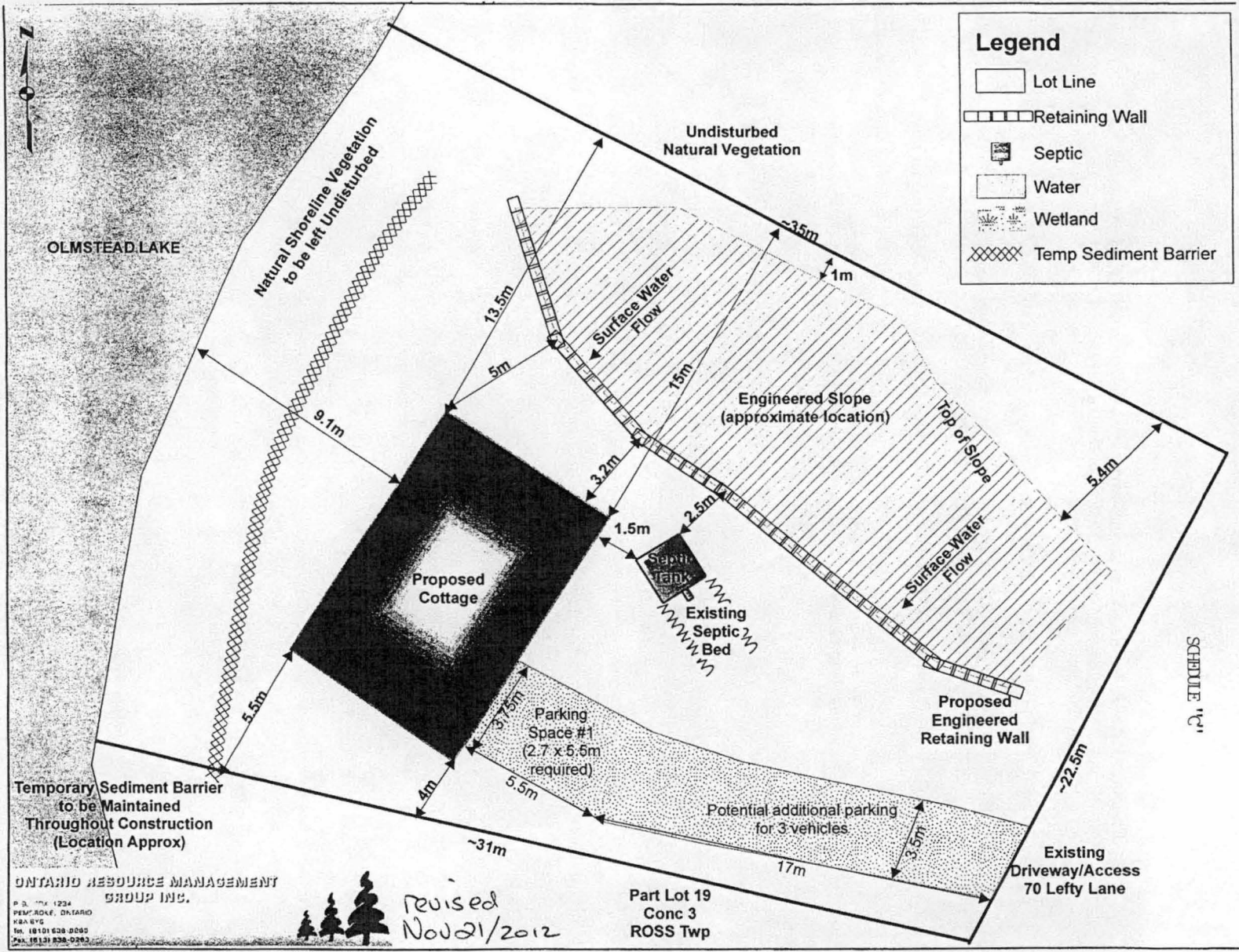
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Questions or comments regarding this report or the findings and recommendations outlined herein should be addressed to Ontario Resource Management Group (ORMG) Inc. utilizing the information listed above.

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## References

- Chambers, B.A., Naylor, B.J., Nieppola, J., Merchant, B., Uhlig, P. 1997. Field Guide to Forest Ecosystems of Central Ontario. Ministry of Natural Resources, Queen's Printer for Ontario. 200 pp.
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- Tugel, A., A. Lewandowski and D. Happe-vonArb, eds. 2000. Soil Biology Primer. Rev. Ed. Arkeny, Iowa: Soil and Water Conservation Society.
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Revised  
 Nov 21/2012

Part Lot 19  
 Conc 3  
 ROSS Twp

SCHEDULE 'C'

THE CORPORATION OF  
TOWNSHIP OF WHITEWATER REGION

BY-LAW NUMBER 12-12-579

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**A By-Law authorizing the Township to enter into a Site Plan Agreement with Patrick Rene St. Michael**

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**WHEREAS** Patrick Rene St. Michael is the owner of PT LT 19 CON 3, Part 1, Plan 49R-133381, ROSS, TOWNSHIP OF WHITEWATER REGION known municipally as 70 Lefty Lane;

**AND WHEREAS** Patrick Rene St. Michael has made application to the Municipality for an amendment to the Municipality's By-Law to allow for the development of the lands;

**AND WHEREAS** the Municipality, by By-Law Number 12-07-548, has approved the Zoning By-Law amendment subject to certain conditions including the execution of a Site Plan Agreement;

**AND WHEREAS** Section 41 of the Planning Act permits the registration of this Agreement against the lands to which it applies in order to secure the provisions of certain works;

**AND WHEREAS** Patrick Rene St. Michael has asked the Council of the Corporation of the Township of Whitewater Region to enter into a Site Plan Agreement;

**NOW THEREFORE** the Council of the Corporation of the Township of Whitewater Region hereby ENACTS AS FOLLOWS:

1. **THAT** The Corporation of the Township of Whitewater Region enter into a Site Plan Agreement with Patrick Rene St. Michael, which agreement is attached and marked as Schedule "A" to this By-law.
2. **THAT** the Council of the Township of Whitewater Region hereby authorize the execution of the Development Agreement.
3. **THAT** the Mayor and CAO/Clerk be authorized to execute the said Site Plan Agreement together with all documents relating thereto, and further, to make such other motions as may be necessary to complete this matter.

THIS BYLAW shall come into effect upon the passing thereof and subsequent registration at the Land Registry Office for the Registry Division for the County of Renfrew.

This By-law given **FIRST** and **SECOND** reading this 12<sup>th</sup> day of December, 2012

This By-law read a **THIRD** time and finally passed this 12<sup>th</sup> day of December, 2012

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CAO/CLERK

**TOWNSHIP OF WHITEWATER REGION**  
**Council Meeting**

**Meeting Title: Regular Council Meeting Date: Wednesday December 12, 2012**

**Place: Cobden Council Chambers Start Time: 1:00 p.m.**

**REGULAR COUNCIL MEETING AGENDA**

1. Call to Order
  2. Prayer
  3. Roll Call
  4. Disclosure of Pecuniary Interest
  5. Adoption of the Agenda
  6. Adoption of the Minutes of the Last Meeting
  7. Adoption of the Accounts
  8. **Delegation**
    1. Ed Gutzman – Accessory Building
    2. Cobden Agricultural Society – Approval for Minor Amendment to Bylaw
  9. **Departmental Reports**
    - a. Monthly reports from Treasurer, Fire, Public Works, Environmental Services, By-Law Enforcement
    - b. Reeves Report
  10. **Committee Reports**
  11. **Bylaws**
    1. 12-12-575 Appoint a Chief Administrative Officer/Clerk
    2. 12-12-576 Approve Borrowing for Expenditures during 2013 year
    3. 12-12-577 Appoint of Certain Officials for the 2012 year
    4. 12-12-578 Revised Agreement – MTO Improvement Costs Highway
    - 17
    5. 12-12-579 Site Plan Agreement – Patrick St. Michael
  12. **Misc Correspondence**
    1. Town of New Tecumseth – OSUM Conference May 1 to 3, 2013
    2. Min. of Citizenship, Immigration & Multiculturalism – Nominations for 2013 Paul Yuzyk Award
    3. Min. of Citizenship and Immigration – 2013 Volunteer Services Awards
    4. Renfrew County National Farmers Union – AgriRecovery Program to date
    5. PITCH-IN Ontario – Pitch-In Week Campaign
    6. CPAC Speed Board Information
    7. Ontario Good Roads Association – Amendment to Constitution
    8. Ministry of Finance – OMPF information
    9. Min. of Agriculture, Food and Rural Affairs – 2013 Premier's Award for Agri-Food Innovation Excellence Program
    10. MPAC – Update & Market Snapshot Farm assessed values
    11. High-Speed Internet – Xplornet Service
    12. Premier of Ontario – Reply re: Highway 62
    13. AMO – Highlights of the November 30, 2012 Board meeting
    14. Renfrew County Mutual Aid – Removal of Water & Ice Rescue Services
    15. Sunshine Coach Service – Request for Resolution re: Gas Tax Funds
    16. Catherine Timm – Thank you letter re: Nomination
  13. **New/Unfinished Business**
    1. Request for Noise Bylaw – David Fleming
    2. Livestock Claim – Duane Horst
    3. Christmas Schedule - Departments
    4. County of Renfrew – Taste of the Valley Request for Proposal
    5. Taxes Written Off – Landfill Site Property
    6. Expression of Interest – Phase 2 MIII - Resolution
    7. Municipal Insurance Renewal 2013 year - Resolution
    8. Public Works Capital – Brush Head/Hydraulic Breaker
    9. Building Inspector – Large Buildings
    10. Generator Tender - Information
    11. Community Events and Councilor Announcements
  14. **Closed Meeting to discuss litigation, potential litigation, labour relations, and the security of the property of the municipality.**
  15. **Adjournment**
- 
- Regular Council Meeting**
1. **Call to Order**

Present: Councillors: Mayor Jim Labow, Deputy Mayor Izett McBride, Reeve Donald Rathwell, Cathy Regier, Daryl McLaughlin and Allen Dick. Councillor Joey Trimm was absent.

**Staff Present:** Annette Mantifel and Christine FitzSimons

**2. Prayer**

Prayer was recited

**3. Roll Call**

Clerk conducted Roll Call

**4. Disclosure of Pecuniary Interest**

None Reported

**5. Adoption of the Agenda**

Moved by Izett McBride, Seconded by Cathy Regier

**2012 – 2300 “Be it Resolved that the Council of the Township of Whitewater Region adopt the Agenda dated December 12, 2012 for the Regular Council Meeting as submitted .”**

Carried by  
Jim Labow

**6. Adoption of Regular Council Meeting Minutes**

Moved by Cathy Regier, Seconded by Izett McBride

**2012 – 2301 “Be it Resolved that the Township of Whitewater Region Regular Council Meeting minutes dated November 21<sup>st</sup>, 2012 be adopted as circulated.”**

Carried by  
Jim Labow

**7. Adoption of Accounts**

Moved by Izett McBride, Seconded by Cathy Regier

**2012 – 2302 “Be it Resolved that the Council of the Township of Whitewater Region approve the attached schedule of Accounts for the period November 1, 2012 to November 30, 2012, in the amount of \$756,442.53 for general purposes and \$10,408.75 for water purposes and that the above accounts be paid.”**

Carried by  
Jim Labow

**8. Delegation**

**1. Ed Gutzman – Accessory Building**

Mr. Gutzman explained to Council that he has four acres of property on Rapid Road.

Mr. Gutzman explained to Council that he needs to build a house before the garage or accessory building, but he would like to build the accessory building first to store his building supplies and equipment in when he is building his house.

Mr. Gutzman explained to Council that he has his accessory building that he paid \$15,000.00 for sitting on the property waiting to be put up.

Mr. Gutzman explained that the building needs to go up because all the pieces are steel and if they stay in the packaging, they will rust.

Mr. Schultz explained to Council that the property is zoned water front vicinity and the house needs to be built first then a garage or accessory building.

Mr. Schultz informed Council that there are three ways to approach the situation:

1. Zoning Amendment
2. Apply for both the house and garage permits at the same time.
3. Agreement between the Township and Mr. Gutzman to have the house built by a specific time if the accessory building is built first.

Mayor Labow stated that a mobile home is not allowed in the Township, but it can be used to live in when building a home and an agreement is signed between the property owner and the Township.

Mr. Gutzman informed Council that he would be leaving the building where it is and he would apply for both permits in the Spring.

**2. Cobden Agricultural Society – Approval for Minor Amendment to Bylaw**

Mr. Brian Hamilton and Mr. Stewart McBride thanked Council for snowplowing the Ag Hall yard.

Mr. Hamilton informed Council that the Agricultural Society received a grant to upgrade the washroom so that they are up to the accessibility standards.

Mr. Hamilton explained that the Ag Society wanted to put the new air conditioning and heating unit on the Astrolabe street side of the Agricultural Hall building, but Mr. Schultz informed the Ag Society that there was not enough frontage to put it there.

Mr. Hamilton explained to Council that if the unit was put at the back of the building there would be additional costs of \$5,000.00 to \$7,000.00.

Mr. McBride informed Council that the unit is a 25 tonne unit and the noise from the unit is measures at 84 decibels.

Mr. Schultz stated that when the machine is running the Township may receive complaints from ratepayers of the noise.

Mr. Hamilton also explained that if the unit is at the back of the building, this may also raise the risk of vandalism.

Mr. Schultz questioned about the side of the building.

Mr. Hamilton informed Council that the side of the building is the fire access and road allowance.

Deputy-Major McBride asked if the units were traditional units.

Mr. McBride informed Council that the units were gas fired.

Mayor Labow asked about putting the unit on the roof.

Mr. McBride informed Council that the beams inside the building would need to have extra support added to them and a catwalk would need to be added so that the unit could be serviced.

Mr. Schultz informed Council that he had spoke with the County of Renfrew and asked if the air conditioning unit is considered an accessory building, but Mr. Schultz has not had a response yet.

Councillor Dick informed Council that the Freshmart has a 10 tonne unit, just to compare the sounds the unit makes.

Mr. McBride stated that the unit will need 3 phase power and this will lower the operating costs.

Councillor McLaughlin asked if the unit would be fenced.

Mr. McBride informed Council that there would be a security fence around the unit.

Councillor McLaughlin asked if the fence could be sound proof.

Councillor Dick asked if the Ag Society can't put the unit at the front will they look at putting the unit at the back of the building.

Mr. Hamilton stated that they would, but they would require more lighting for security.

Reeve Rathwell questioned about looking into other areas that have this unit for noise.

Mr. Schultz said he would look into this and he asked that the Ag Society poll the neighbours near the unit to see how they feel about the unit being put in across the road from them.

## 9. Departmental Reports

### a. Monthly reports from Treasurer, Fire, Public Works, Environmental Services, By-Law Enforcement

#### WHITEWATER REGION DEPARTMENTAL REPORT

**DEPARTMENT: Treasury/Administration**

**MONTHLY ACTIVITY: November 2012**

##### FEDERAL GAS TAX FUND

We have now received our second installment of the Federal Gas Tax Fund in the amount of \$101,702.96.

##### SECOND SUPPLEMENTAL LISTING

The municipal portion of taxes to be received from the 2<sup>nd</sup> supplemental listing is \$30,492.49 – the Township received a total of \$54,947.08 in additional municipal taxes this year from supplemental taxes. This is up slightly from last year (2011 - \$52,385.66).

##### WATER DEBENTURE PAYMENT – PLANT & DISTRIBUTION UPGRADES

The second debenture payment of \$68,235.56 for 2012 for both the distribution and water plant upgrades has been paid – total yearly payment of \$136,471.12.

##### MIII ASSET MANAGEMENT PROGRAM GRANT ALLOCATIONS

We have been allocated a grant amount of \$22,969.27 to be used towards the development of our Asset Management Plan. Funding will be issued once all requirements have been met and contribution agreements have been executed.

##### CIBC ELECTRONIC BILL PAYMENT SERVICE FEES

We have now received a letter from the CIBC Bank advising us that effective February 1, 2013 they will be introducing fees for the use of their electronic bill payment service - \$25 per month per biller ID - \$0.055 per payment processing fee - \$1.25 per report fee. The Ontario Municipal Tax & Revenue Association will be approaching CIBC with a request that municipalities be exempt from these charges. They were successful last year in getting National Bank to exempt municipalities from these charges.

Annette Mantifel, Treasurer

#### T.W.P. Whitewater Region Departmental Report

##### Department of PUBLIC WORKS

November 2012 Monthly Activities:

- Trucks were out 4 days plowing/sanding/salting compared to 1 last year at this time
- Hauled gravel to the Mineview yard for stock
- Put some gravel on Calvin Rd,
- Grading of all roads completed before freezing
- Cold patching and side patching was completed of various roads,
- Three public works employee positions were filled
- Brushing along MacFarlane Road, Ferry Rd, Faught Rd and Springfield Dr was completed.
- All the trucks were prepared with spinners and attachments for plows getting ready for winter weather
- Christmas lights were taken out of storage, maintenance done to them and they were erected in the various towns
- Two water main repairs were completed this month

#### Township of Whitewater Region

##### Environmental Services Department

##### Monthly Departmental Report November, 2012

###### Plants:

The Department is in the process of installing stainless steel sampling station hardware at the three (3) Water Treatment Plants. The hardware was provided by the MOE for the purposes of the provincial Drinking Water Surveillance Program that the Department is involved in.

The Department took part in the annual Emergency Management Exercise early in November. The exercise was conducted in the Municipal Chambers with representatives from each Department.

A service technician from Rotork had to install a new circuit board on one of the actuator valves on Filter #1 at the Cobden Water Treatment Plant this month.

New natural gas furnaces (3) were installed at the Beachburg Water Treatment Plant replacing the older electric furnaces. JWHVAC carried out the installation.

As a result of a service call, all four (3) gas furnaces at the Cobden Water Treatment Plant were declared unsafe as each unit has a crack in its heat exchanger. These furnaces were installed in 2008 with the upgrades and have been troublesome since new. They have been replaced with new units following the installation of Beachburg's furnaces.

An annual Infrastructure Review as well as a Risk Assessment & Outcomes exercise was conducted in November for the purposes of the DWQMS and the operating authority becoming accredited.

Electronic Actuator Valves in Beachburg are failing as mentioned in the last Departmental Report. The Department has prices and wishes to move ahead and initiate the ordering of the valves for installation hopefully early in the new year.

Waste:

There seems to be some delay in receiving further correspondence from Stewardship Ontario on the first HHW claim the Department submitted. This was the May 12<sup>th</sup>, 2012 event. Claim was submitted in early June. The Department has just forwarded documentation for the September 15<sup>th</sup> event to receive funding.

Two (2) house demolitions have been disposed of in November, 2012 at the Ross Landfill.  
Steven Hodson, Environmental Services Manager

Mr. Hodson explained to Council that the valves in the Beachburg Water Plant that have been there for twenty years are now leaking and they need to be replaced.

Consensus was given to Mr. Hodson to go ahead and purchase the new valves for the Beachburg water Plant.

**WHITEWATER REGION DEPARTMENTAL REPORT**

**DEPARTMENT: Building and By-law Enforcement      DATE: December 03, 2012**

**MONTHLY ACTIVITIES:**

- Carried out building, plumbing, septic and By-law inspections and attend meetings for future developments.
- For the Month of November we issued we 16 Building Permits at a constructions value of \$292,550.00 in total. 3 residential addition/renovation, 4 residential accessory buildings, 1 commercial addition, 1 roof mounted solar project, 2 agricultural accessory building, 4 septic permits, 1 demo single family dwelling.
- We are still busy with severances, rezoning and completing some minor variances.
- We are in the process of setting up a dog owners information session at the Westmeath rink hall date January 17, 2013 at 7:00p.m.

The month of December we will try doing a dog blitz in the Westmeath area.

**RECOMMENDATIONS / MOTIONS TO BE BROUGHT FORWARD:**

None.

Councillor Regier stated that letters should be sent to the K0J 2L0 postal code to inform them of the Animal Control By-Law.

**b. Reeves Report**

**Reeves Renfrew County Report For the Month of November**

During the month of November I attended three half day meetings and one full day.

Minister of Transportation Bob Chiarelli at a recent meeting with him on 417 Extension to Renfrew and beyond suggested the County initiate an Economic Development Impact study to assess the viability of expanding the highway in future.

To this request Renfrew County has hired McSweeney & Associates the project completion date is February 28, 2013.

A Resolution was passed that County Council direct staff to facilitate a meeting with stake holder groups including the forest industry, the Agricultural community and Development sector to determine a plan of action to effectively move forward to present alternative approaches to the Endangered Species Act

On September 24, 2012 Minister of Municipal Affairs and housing released the draft Provincial Policy statement. Please find attached Counties suggestion to improve the Plan for Renfrew County especially Rural Areas and low growth areas. I had the privilege of speaking at the opening in Cobden at the Anglican Church Hall that has been renovated to handle the Bonnechere Manor Adult Day program. This replaces the program that was in Beachburg and Eganville we should all be thankful to County of Renfrew and Bonnechere Manor for this very worthwhile program.

.Donald Rathwell

**10. Committee Reports**

Nothing.

**11. Bylaws**

**1. 12-12-575 Appoint a Chief Administrative Officer/Clerk**

Moved by Cathy Regier, Seconded by Izett McBride

**2012 – 2303 “Be it Resolved that the Council of the Township of Whitewater Region enact a By-law appointing a Chief Administrative Officer/Clerk and the said by-law be read a first, second and third time and the said By-Law be numbered 12-12-575 and be signed by the Mayor and Clerk, sealed with the seal of the Corporation and be engrossed in the By-Law Book this 12<sup>th</sup> day of December, 2012.**

Carried by  
Jim Labow

**2. 12-12-576 Approve Borrowing for Expenditures during 2013 year**

Moved by Izett McBride, Seconded by Cathy Regier

**2012 – 2304 “Be it Resolved that the Council of the Township of Whitewater Region enact a By-law to authorize borrowing from time to time to meet current expenditures during the fiscal year ending December 31, 2013 and the said by-law be read a first, second and third time and the said By-Law be numbered 12-12-576 and be signed by the Mayor and Clerk, sealed with the seal of the Corporation and be engrossed in the By-Law Book this 12<sup>th</sup> day of December, 2012.”**

Carried by  
Jim Labow

**3. 12-12-577 Appoint of Certain Officials for the 2012 year**

Moved by Cathy Regier, Seconded by Izett McBride,

**2012 – 2305 “Be it Resolved that the Council of the Township of Whitewater Region enact a By-law to appoint certain officials for the 2012 year and the said by-law be read a first, second and third time and the said By-Law be numbered 12-**



12-577 and be signed by the Mayor and Clerk, sealed with the seal of the Corporation and be engrossed in the By-Law Book this 12<sup>th</sup> day of December, 2012.”

Carried by  
Jim Labow

4. **12-12-578 Revised Agreement – MTO Improvement Costs Highway 17**  
Moved by Izett McBride, Seconded by Cathy Regier  
2012 – 2306 “Be it Resolved that the Council of the Township of Whitewater Region enact a By-law authorizing Council to enter into an agreement with the Ministry of Transportation regarding the improvement costs associated with rehabilitation of Highway 17 in Cobden and the said by-law be read a first, second and third time and the said By-Law be numbered 12-12-578 and be signed by the Mayor and Clerk, sealed with the seal of the Corporation and be engrossed in the By-Law Book this 12<sup>th</sup> day of December, 2012.”

Carried by  
Jim Labow

5. **12-12-579 Site Plan Agreement – Patrick St. Michael**  
Moved by Cathy Regier, Seconded by Izett McBride  
2012 – 2307 “Be it Resolved that the Council of the Township of Whitewater Region enact a By-law authorizing the Township to enter into a Site Plan Agreement with Patrick Rene St. Michael and the said by-law be read a first, second and third time and the said By-Law be numbered 12-12-579 and be signed by the Mayor and Clerk, sealed with the seal of the Corporation and be engrossed in the By-Law Book this 12<sup>th</sup> day of December, 2012.”

Carried by  
Jim Labow

12. **Misc Correspondence**

1. **Town of New Tecumseth – OSUM Conference May 1 to 3, 2013**  
Information.

2. **Min. of Citizenship, Immigration & Multiculturalism – Nominations for 2013 Paul Yuzyk Award**  
Information.

3. **Min. of Citizenship and Immigration – 2013 Volunteer Services Awards**  
Information.  
Reeve Rathwell will contact the office to suggest a volunteer for nomination.

4. **Renfrew County National Farmers Union – AgriRecovery Program to date**  
Information.

5. **PITCH-IN Ontario – Pitch-In Week Campaign**  
CAO spoke on her experience with PITCH-In Ontario.  
Consensus was given that the Township of Whitewater Region would take part in PITCH-In Ontario.

6. **CPAC Speed Board Information**  
Information.

7. **Ontario Good Roads Association – Amendment to Constitution**  
Information.

8. **Ministry of Finance – OMPF information**  
Ms. Mantifel informed Council that the Township of Whitewater Region would be receiving 96% of the 2012 funding.

9. **Min. of Agriculture, Food and Rural Affairs – 2013 Premier’s Award for Agri-Food Innovation Excellence Program**  
Information.  
Council suggested Reuben Stone and asked for Ms. Mantifel to send Mr. Stone the information to apply.

10. **MPAC – Update & Market Snapshot Farm assessed values**  
Information.  
Ms. Mantifel reminded Council that Mrs. Cecilia Buelow is attending the January 23, 2013 Council meeting.

11. **High-Speed Internet – Xplornet Service**  
Information.

12. **Premier of Ontario – Reply re: Highway 62**  
Information.

13. **AMO – Highlights of the November 30, 2012 Board meeting**  
Information.

14. **Renfrew County Mutual Aid – Removal of Water & Ice Rescue Services**  
Fire Chief, Wayne Heubner informed Council that Pembroke is the only entity that is offering Water & Ice Rescue.  
Chief Heubner suggested that the Township needs to have an agreement with them for Pembroke to provide the service.

15. **Sunshine Coach Service – Request for Resolution re: Gas Tax Funds**  
Moved by Donald Rathwell, Seconded by Allen Dick  
**2012 – 2308 “Be it Resolved that Council of the Township of Whitewater Region supports the Sunshine Coach Service and agrees to the Town of Renfrew receiving and being responsible for, on our behalf, Dedicated Gas Tax Funds from the Province of Ontario as the Host Municipality for the Sunshine Coach Service.”**

Carried by  
Jim Labow

16. **Catherine Timm – Thank you letter re: Nomination**  
Information.

13. **New/Unfinished Business**

1. **Request for Noise Bylaw – David Fleming**

Councillor Dick informed Council that he was contacted twice from the Flemings. Reeve Rathwell stated that this item needs to be discussed carefully especially when the Township has a lot of rural ratepayers. CAO stated to let the police handle the situation. Councillor Dick asked that a letter be drafted that explains Mr. Fleming should contact the owner of the property.

2. **Livestock Claim – Duane Horst**

Moved by Allen Dick, Seconded by Donald Rathwell  
**2012 – 2309 “Be it Resolved that the Council of the Township of Whitewater Region agree to reimburse Duane Horst \$275.00 for one pregnant ewe killed by coyotes on November 17, 2012 and \$275.00 for one ewe killed by coyotes on December 1, 2012.”**

Carried by  
Jim Labow

3. **Christmas Schedule - Departments**

Moved by Donald Rathwell, Seconded by Allen Dick  
**2012 – 2310 “Be it Resolved that the Council of the Township of Whitewater Region accept the Christmas Schedule as submitted for all Departments.”**

Carried by  
Jim Labow

4. **County of Renfrew – Taste of the Valley Request for Proposal**

Reeve Rathwell informed Council that the County feels that they have done their job by getting the Taste of the Valley started and established. Reeve Rathwell stated that the County wanted other organizations to take it over and they are looking for help. Councillor McLaughlin asked that it be brought to the Civitans. CAO asked that this item be addressed in the Culture Committee. Consensus was given to send a letter to the County.

5. **Taxes Written Off – Landfill Site Property**

Moved by Allen Dick, Seconded by Donald Rathwell  
**2012 – 2311 “Be it Resolved that Council of the Township of Whitewater Region write off the following taxes as uncollectible under Section 354(2)(a) of the Municipal Act – Roll Number 049-050-16900 \$286.55 (2012 year).”**

Carried by  
Jim Labow

6. **Expression of Interest – Phase 2 Mill – Resolution**

Moved by Donald Rathwell, Seconded by Allen Dick  
**2012 – 2312 “Be it Resolved that Council of the Township of Whitewater Region certify that the information contained in the Expression of Interest being submitted by the Township under the Municipal Infrastructure Investment Initiative – Capital Program is factually accurate. Further, Council confirms that the Township is**

**committed to developing a comprehensive Asset Management Plan that includes all of the information and analysis described in "Building Together: Guide for Municipal Asset Management Plans" by December 31, 2013"**

Carried by  
Jim Labow

**7. Municipal Insurance Renewal 2013 year – Resolution**

Moved by Donald Rathwell, Seconded by Allen Dick

**2012 – 2313 "Be it Resolved that Council of the Township of Whitewater Region accept the proposal dated December 6<sup>th</sup>, 2012 as submitted by Municipal Insurance Services for the 2013 Municipal Insurance Program at a cost of \$141,953.00 plus PST and this includes increase in EIL Limit from \$2,500,000.00 to \$5,000,000.00."**

Carried by  
Jim Labow

**8. Public Works Capital – Brush Head/Hydraulic Breaker**

Moved by Donald Rathwell, Seconded by Cathy Regier

**2012 – 2314 "Be it Resolved that Council of the Township of Whitewater Region approve the recommendation made by the Public Works Manager that \$100,000 not be removed from reserves this year – instead \$500,000 be debentured for the purchase of the excavator and grader. The \$100,000 will be withdrawn from reserves at a later date for the purchase of the two excavator attachments."**

Carried by  
Jim Labow

**9. Building Inspector – Large Buildings**

Moved by Allen Dick, Seconded by Donald Rathwell

**2012 – 2315 "Be it Resolved that the Council of the Township of Whitewater Region appoint Jacques Benoit to act as back up building inspector, including plans examinations, from time to time as required to carry out the requirements and duties for Large buildings under the Building Code Act; And Further that Mr. Benoit be reimbursed at the rate of \$50/hour plus mileage while performing the above mentioned duties."**

Carried by  
Jim Labow

**10. Generator Tender – Information**

Ms. Mantifel informed Council that she used Jp2G as a consultant to go over the tender document and also the tenders that were received.

Ms. Mantifel also informed Council that she spoke with the Township lawyer over the tender documents.

It was recommended that only the tenders that used the three types of engines noted in the tender should be considered because in the case of an emergency the Township would want the high end high quality of these engines.

Ms. Mantifel informed Council that one tender did not submit the deposit amount and two tenders did not sign the addendum.

Moved by Donald Rathwell, Seconded by Allen Dick

**2012 – 2316 "Be it Resolved that the Council of the Township of Whitewater Region award the emergency generator tender for the Municipal Office to the Rondeau Electric at a cost of \$33,674.00 including HST."**

Carried by  
Jim Labow

**11. Community Events and Councilor Announcements**

United Church – Christmas Program – Saturday December 22, 2012.

**14. Closed Meeting to discuss litigation, potential litigation, labour relations, and the security of the property of the municipality.**

Moved by Donald Rathwell, Seconded by Allen Dick

**2012 – 2317 Under Section 239(2) of the Municipal Act THAT this meeting become a closed meeting for the purpose(s) – Time 4:00 p.m.**

- the security of the property of the municipality or local board;

- Personal matters about an identifiable individual, including municipal or Local board employees

- a proposed or pending acquisition or disposition of land by the municipality or local board;
- labour relations or employee negotiations;
- litigation or potential litigation, including matters before administrative tribunals, affecting the municipality or local board;
- advice that is subject to solicitor-client privilege, including communications necessary for that purpose;
- a matter in respect of which a council, board, committee or other body may hold a closed meeting under another act;
- A meeting of a council or local board or of a committee of either of them may be closed to the public if the following conditions are both satisfied:  
The meeting is held for the purpose of educating or training the members  
AND  
At the meeting, no member discusses or otherwise deals with any matter in a way that materially advances the business or decision-making of the council, local board or committee

Moved by Donald Rathwell, Seconded by Allen Dick

**2012 – 2318 “Be it Resolved that the Council of the Township of Whitewater Region Committee of the Whole meeting dated December 12, 2012, hereby be adjourned at 4:29 p.m.”**

Carried by  
Jim Labow

**15. Adjournment**

Moved by Allen Dick, Seconded by Donald Rathwell

**2012 – 2319 “Be it Resolved that the Township of Whitewater Region Regular Council Meeting dated December 12, 2012 hereby be adjourned at 4:31 p.m.”**

Carried by  
Jim Labow

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Christine FitzSimons

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Mayor Jim Labow